

Husbands Bosworth

Design Guidance and Codes

2025

Quality information

Prepared by	Checked by	Approved by
Lavenya Parthasarathy Graduate Urban Designer	Wei Deng Associate	Derek Watson Parish Council

Revision History

Issue no.	Issue date	Details	Issued by	Position
01	25.02.25	Report structure	Wei Deng	Associate
02	02.04.25	First draft	Wei Deng	Associate

Cover photo © Copyright Jonathan Hutchins and licensed for reuse under this Creative Commons Licence. Photo source: [Geograph.co.uk](https://www.geograph.co.uk)

This document has been prepared by AECOM Limited ("AECOM") in accordance with its contract with Locality (the "Client") and in accordance with generally accepted consultancy principles, the budget for fees and the terms of reference agreed between AECOM and the Client. Any information provided by third parties and referred to herein has not been checked or verified by AECOM, unless otherwise expressly stated in the document. AECOM shall have no liability to any third party that makes use of or relies upon this document.

Contents

Page

1. Introduction	04
2. Policy and Context Review	14
3. Area Types Design Guidance and Codes	20
4. Parish Wide Design Guidance and Codes	42
5. Next Steps	56

HUSBANDS BOSWORTH
**Millennium
Pavilion**

Introduction

01

1. Introduction

Through the Ministry of Housing, Communities and Local Government (MHCLG) Neighbourhood Planning Support Programme led by Locality, AECOM was commissioned to provide design support to Husbands Bosworth Parish Council.

As the National Planning Policy Framework (NPPF) (paragraph 131) notes, 'good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities'.

Following an analysis of the Neighbourhood Area (NA), a set of architectural and design qualities will be identified. This set of qualities, combined with good design practice, will form the design guidelines that development within Husbands Bosworth should follow in order to comply with this parish-wide design guidance and codes document.

1.1 Purpose of this document

This document sets out design guidance and codes based on the existing features of Husbands Bosworth. The document is intended to sit alongside the Neighbourhood Plan to provide guidance for applicants preparing proposals in the NA and as a guide for the Parish Council, Harborough District Council, and Leicestershire Council when considering planning applications.

1.1.1 What is Guidance versus Codes?

Design guidance identifies how development can be carried out in accordance with good design practice. Design codes are requirements that provide specific, detailed parameters for development. Proposals for development within the NA should demonstrate how the guidance has informed the design and how the design codes have been complied with. Where a proposal cannot comply with a code (or several) a justification should be provided.



Figure 01: The Bell Inn, Kilworth Road.



Figure 02: House of Artistry, High Street.

1.2 Area of study

Husbands Bosworth is a civil parish, overseen by the Harborough District Council as the Local Planning Authority (LPA). Husbands Bosworth village is classed as a Rural Centre within the Harborough Local Plan 2011-2031 (Adopted April 2019).

With a population of approximately 1,463 (Census 2021, ONS 2022 Mid-Year Population Estimate 1600), Husbands Bosworth is located around 10.6 km south-west of the town of Market Harborough.

The design codes and guidance set out within this report encompass the entirety of the Parish, covering an area of approximately 1,439 hectares, corresponding to the designated Neighbourhood Area (NA). The parish boundary includes the village of Husbands Bosworth, and several clusters of stand-alone developments.

Outside of the village settlement area, much of the parish is made up of open countryside and surrounding watercourses including the Grand Union Canal, River Welland, and River Avon.

The NA is rich in historical significance, with roots dating back to the Domesday Book, and it retains many traditional features, including numerous listed buildings, the Husbands Bosworth conservation area, the Grand Union Canal conservation area, and remnants of scheduled monument.

As a Rural Centre, the village offers key services such as a post office, convenience store, primary school, pub, and a GP surgery, to serve the settlement and the surrounding area.

Husbands Bosworth is well connected to nearby settlements, such as Market Harborough and Lutterworth through key routes including the east-west A4304, and north-south A5199. The closest railway station is situated at Market Harborough, which offers a direct East Midlands Railway (EMR) connections to Nottingham and London St Pancras.

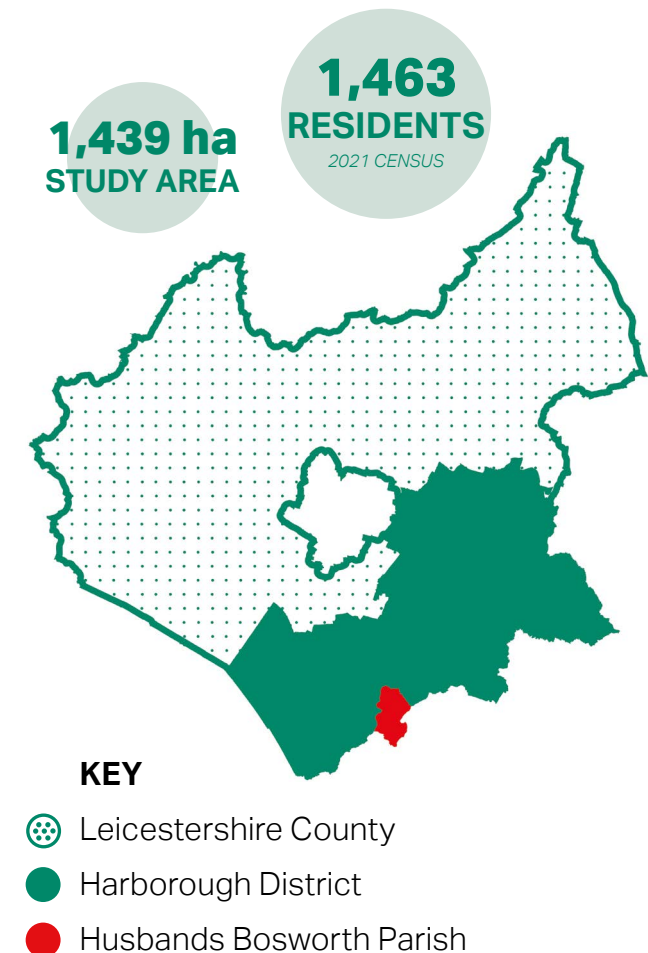


Figure 03: The Neighbourhood Area in regional context. *Source: Esri OS data*

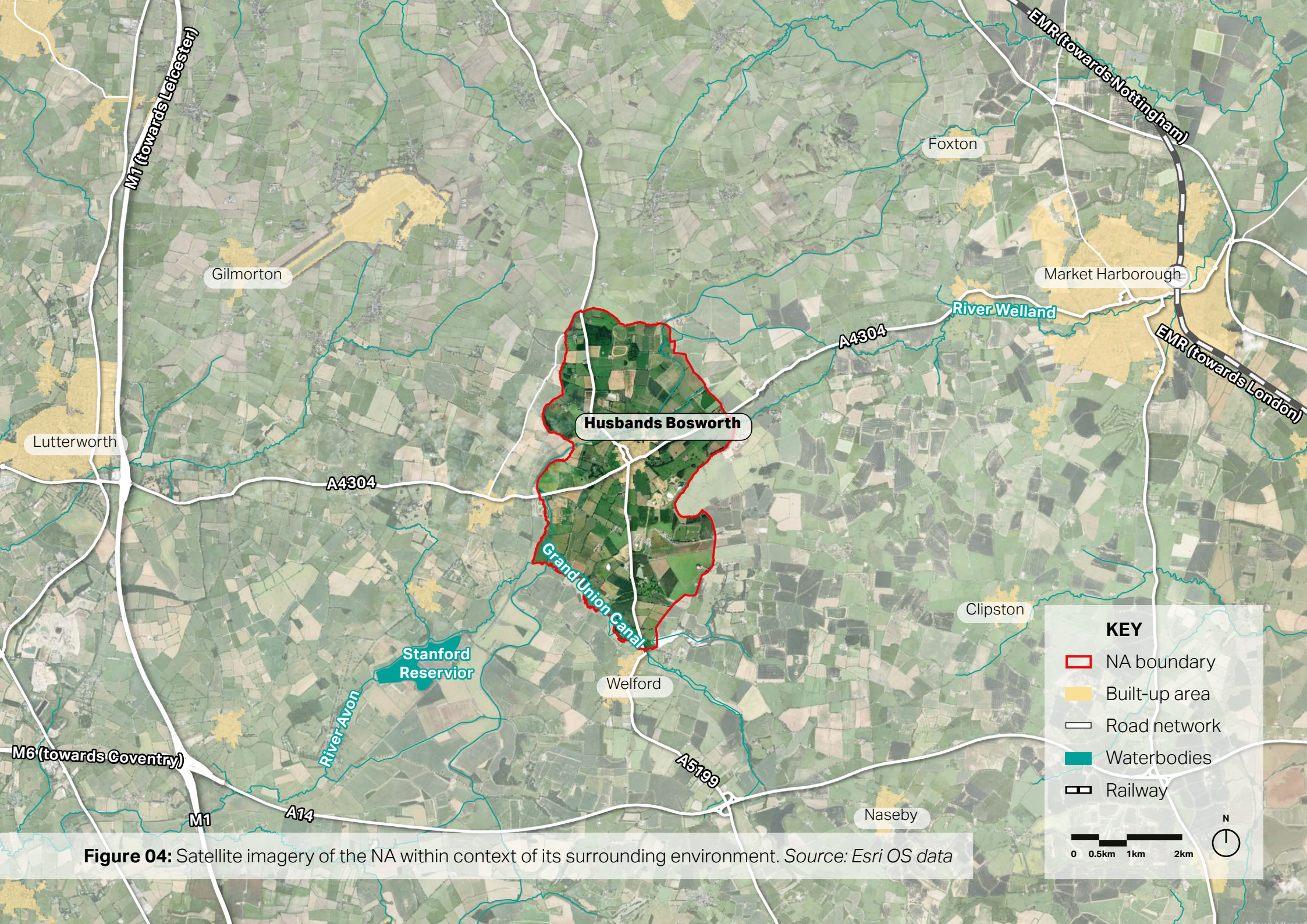


Figure 04: Satellite imagery of the NA within context of its surrounding environment. *Source: Esri OS data*

1.3 What makes Husbands Bosworth special?

There are two conservation areas within the NA, including the Husbands Bosworth conservation area and the Grand Union Canal conservation area. The parish is home to 28 Listed Buildings, 3 of which are Grade II* and the rest Grade II. There is one designated Scheduled Monument site (REF: 1019477) which falls within the NA boundary. These contribute to the preservation of Husbands Bosworth's historical identity.

The landscape of Husbands Bosworth is predominantly rural, consisting of large, open fields divided by hedgerows, clusters of trees, and watercourses, including the Grand Union Canal, River Welland, and River Avon.

This diverse landscape, combined with the village's rich architectural heritage, creates a distinctive sense of place that reflects Husbands Bosworth's heritage and strong connection to its natural surroundings.



Figure 05: Heritage, landscape and movement features within the Husband Bosworth village settlement area. *Source: Esri OS data*

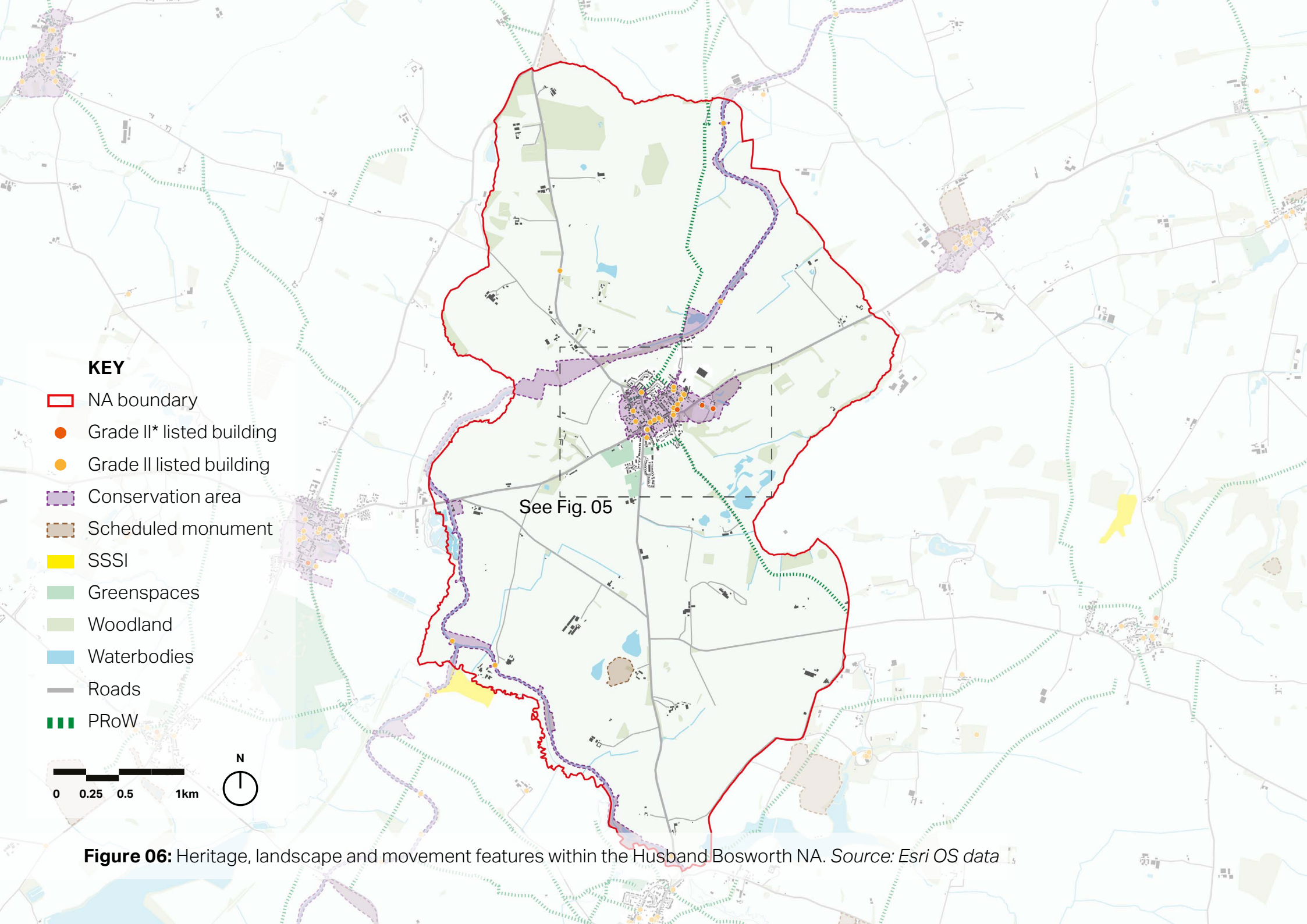


Figure 06: Heritage, landscape and movement features within the Husband Bosworth NA. *Source: Esri OS data*

1.4 Key issues affecting design and infrastructure

Cycle and pedestrian routes

Husbands Bosworth currently lacks designated cycle routes within the NA, limiting safe and sustainable transport options. Additionally, pedestrian connectivity is compromised by the abandonment of roadside footways along key routes. The A4304 between Husbands Bosworth and Theddingworth has suffered from a lack of maintenance, rendering the footway inaccessible in places. Similarly, along the A5199 towards Welford, the footway is intermittent and lost in sections, forcing pedestrians onto the road—especially beyond the Station Road junction, where the speed limit is unrestricted (60mph). Improved pedestrian and cycle infrastructure is essential to enhance safety and encourage sustainable transport choices.

Canal towpath accessibility

The towpath along the Grand Union Canal, particularly from the eastern portal of the canal tunnel to near Bridge 48, is reported to be unsafe and impassable in areas, particularly in wet weather. While this

remains a permissive path, the Canal & River Trust (CRT) actively promotes public access, implying a duty of care to maintain a safe and usable route. Despite ongoing discussions between the Parish Council and CRT, no significant improvements have been made. There is an urgent need for maintenance, surfacing upgrades, and improved access to ensure the towpath remains a viable recreational and pedestrian link within the parish.

Flood-prone and drainage issues

Although Husbands Bosworth, situated on an elevated location, does not experience direct flooding in the village, localised drainage issues persist. These are primarily due to blocked drains and culverts, leading to surface water build-up in certain areas. Proactive maintenance of drainage infrastructure is necessary to mitigate these issues and prevent future deterioration.

There is an important area at Welford Wharf, at the southern limit to the NP area and adjacent to the county boundary and the river Avon, which is liable to extensive flooding when the river levels rise. This area has in the past been considered for some limited development, both residential and commercial. (EA flood risk register and mapping should confirm the extent

of the area of risk.) Flooding in the area is influenced by the small, nearby catchment and the speed at which water flows into it. During periods of heavy local rainfall, the Canal & River Trust may need to release water from the upstream canal feeder reservoir as an emergency measure, which can also contribute to flooding.

Other issues

As a rural community, Husbands Bosworth relies heavily on personal vehicle transport due to limited public transport options. Although the local bus service has been retained, many residents require multiple vehicles per household, particularly given the larger housing types typically delivered by developers in the area. To address parking demand, the Parish Council believes that new developments should allocate additional parking provision, exceeding the minimum requirements typically applied in urban areas with better public transport access. This will help prevent on-street congestion, improve road safety, and enhance overall residential amenity.

This Design Code report will examine these issues and key considerations, based on desktop study and site visits, and propose appropriate measures to enhance design quality.

1.5 Process and engagement

A one-day site visit took place on 12th February 2025, commencing with an in-person meeting between AECOM and representatives of the Husbands Bosworth Parish Council to explore the group's key aims and objectives and to address any initial concerns.

This was followed by a tour of the parish, via car and on foot. This activity allowed consultants to appraise local character and the features informing its sense of place, such as heritage and landscape features. The exercise also provided valuable local insight into the area's pertinent design issues and opportunities, good and bad practice, as well the overall context for which the evidence-base of the Neighbourhood Plan will reflect.

This document has resulted from a collaborative effort between the Husbands Bosworth Parish Council and AECOM, reflecting the priorities of local residents. The design coding process includes the following steps:

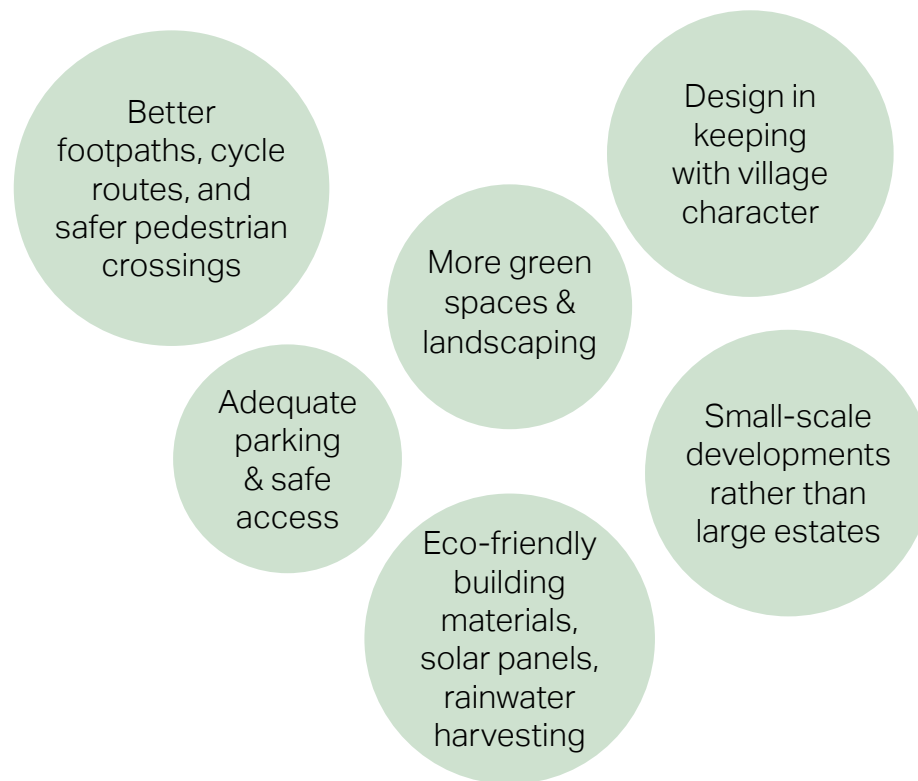
AECOM



Figure 07: A brief chronological breakdown of the key elements and milestones used throughout the duration of the production of this document.

Engagement sessions with the Parish Council were undertaken throughout the preparation of this report. Discussions focused on local residents' aspirations for future development, and the key points are summarised below.

What people would like to see in new developments in Husbands Bosworth:



What people would not like to see in new developments in Husbands Bosworth:

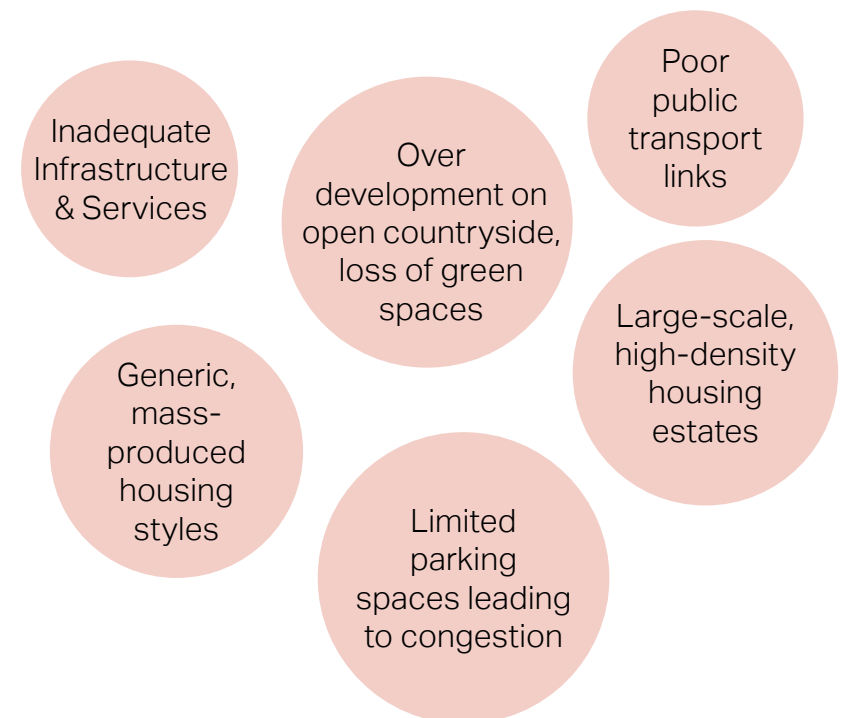


Figure 08: Key points that were raised during the engagement session

1.6 How to use this document

This document will be used differently by different people in the planning and development process.

A valuable way codes and guidance can be used is as part of a process of co-design and involvement that seeks to understand and takes account of local preferences for design quality. As such the codes and guidance can help to facilitate conversations to help align expectations, aid understanding, and identify key local issues.

The resulting design guidance and codes can then set out how to adequately respond to these issues in future development.

Design codes and guidance alone will not automatically secure quality design outcomes, but they will help to prevent poor outcomes by creating a rigorous process that establishes expectations for design quality.

What follows is a list of actors and how they will use the design guidelines:

Potential users	How they will use the design guidance and codes
Applicants, developers, & landowners	As a guide to the community's and the Local Planning Authority's expectations on design, allowing a degree of certainty – they will be expected to follow the Guidelines as planning consent is sought.
Local planning authority	As a reference point, embedded in policy, against which to assess planning applications. The guidance and codes should be discussed with applicants during any pre application discussions.
Husbands Bosworth Parish Council	As a guide when commenting on planning applications, ensuring that the guidance and codes are complied with.
Local community organisations	As a tool to promote community-backed development and to inform comments on planning applications.

Table 01: A list of potential users of this documents and how they will apply the design guidance and codes.

**Policy and Context
Review**

02

2. Policy and context review

2.1 The vision and values and relationship to design quality

The Husbands Bosworth Neighbourhood Plan envisions a community that harmoniously blends its rich heritage with sustainable growth. The design code focuses on four key areas:

- **Preservation of Historic Character:** Protect and enhance Husbands Bosworth's architectural heritage, ensuring new developments respect existing styles and materials, particularly within conservation areas.
- **Community Connectivity:** Develop pedestrian-friendly pathways and communal spaces to foster social interaction and improve accessibility throughout the village.

- **Natural Environment Integration:** Ensure new constructions complement the natural surroundings, preserving green spaces and promoting biodiversity within the urban environment.
- **Sustainable Development:** Promote eco-friendly building practices, incorporating renewable energy sources and sustainable materials to reduce environmental impact.

These visions aim to create a cohesive, vibrant, and resilient community for current and future residents.

DESIGN CODE VISION

The Husbands Bosworth Design Code sets a clear framework for high-quality, sustainable, and locally responsive development. Rooted in heritage, connectivity, and environmental stewardship, it ensures that future growth enhances the village's character while fostering a thriving, inclusive, and resilient community.

2.2 Planning policy context

The NPPF 2024, paragraph 132 states that:

'Plans should... set out a clear design vision and expectations, so that applicants have as much certainty as possible about what is likely to be acceptable. Design policies should be developed with local communities so they reflect local aspirations, and are grounded in an understanding and evaluation of each area's defining characteristics. Neighbourhood plans can play an important role in identifying the special qualities of each area and explaining how this should be reflected in development...'

The Government is placing significant importance on the development of design guidance in order to set standards for design upfront and provide key principles regarding how sites should be developed.

Therefore this report's main objective is to develop design codes to sit alongside the Neighbourhood Plan to inform design

proposals within Husbands Parish and ensure that they remain sympathetic to the surrounding character.

Other research, such as for the Government's Commission for Architecture and the Built Environment (now part of the Design Council; see, for example, *The Value of Good Design*¹) has shown that good design of buildings and places can improve health and well-being, increase civic pride and cultural activity, reduce crime and anti-social behaviour and reduce pollution.

Therefore this document seeks to harness an understanding of how quality design can sensitively incorporate the best aspects of Husbands's overall character into any future development.

Additionally, these following documents have informed the design guidance and codes within this report to ensure they are best aligned with the needs and opportunities identified for the NA:

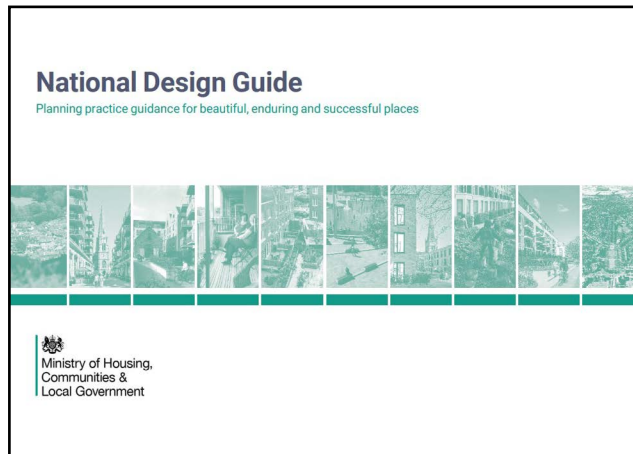
1. Available at: <https://www.gov.uk/government/publications/national-planning-policy-framework--2>

National planning documents



2021 - National Model Design Code MHCLG

The National Model Design Code (NMDC) sets a baseline standard of quality and practice. It provides detailed guidelines on the production of design codes, guides, and policies to promote successful design. It expands on 10 characteristics of good design set out in the NDG.



2019 - National Design Guide (updated January 2021) MHCLG

The National Design Guide (NDG) sets out 10 characteristics of a well-designed place and demonstrates what good design is in practice. As a companion document, it supports the ambitions of the NPPF to utilise the planning process in the creation of high-quality places.



2020 - Building for a Healthy Life Homes England

The BHL toolkit sets out principles to help local planning authorities to assess the quality of proposed (and completed) developments but can also provide useful prompts for planning applicants to consider during the different stages of the design process.



2007 - Manual for Streets Department for Transport

Development is expected to respond to the Manual for Streets, the Government's guidelines on how to design, construct, adopt and maintain residential streets. It promotes prioritising the needs of pedestrians and cyclists, whilst avoiding car dominated layouts.

Harborough Local Plan 2011-2031 - April 2019

Harborough District Council

Harborough District Council (HDC) is the Local Planning Authority (LPA) for Welland. HDC adopted the Local Plan in April 2019. In the adopted Local Plan, Husbands Bosworth was considered a rural centre. Rural Centres are identified as a focus for rural development, to serve both the settlements themselves and the surrounding rural area. The Local Plan aims to focus rural development in these villages will help to support existing facilities and provide a focal point for use by residents of surrounding smaller villages and hamlets. The Agricultural Barns, Gliding Club, Sibbertoft Road, are identified as general employment areas within Husbands Bosworth.

Harborough Emerging Local Plan

Harborough District Council

The LPA is at the very early stages of preparing a new Local Plan and has

undertaken an issues and options consultation as of January to February 2024. The emerging Local Plan will need to take account of NPPF changes published in the December 2024 version of the NPPF, as the document was based on a September 2023 version. The issues and options consultation assumed that the LPA needs to plan for a range of 534 to 780 homes a year. This may change as a result of changes to national policy. The Emerging Local Plan Executive Summary published as of March 2025 outlines key development areas and site allocations, within which 105 new homes are allocated at Husbands Bosworth at Site Ref. HB1 Land east of Welford Road.

Planning Obligations SPD - 2022

Harborough District Council

This SPD was adopted in June 2022. The document sets out the approach Harborough District Council takes to securing community infrastructure and affordable housing through the planning obligations process.

Development Management SPD - 2021

Harborough District Council

This SPD was adopted in December 2021 and provides guidance to assist with the interpretation and implementation of the Local Plan. It covers important guidance on the design of new residential housing estates, extensions to homes, conversions, shopfronts and advertisements. This design guidance should be consulted alongside this document.

Biodiversity Action Plan 2016-2026

Leicestershire County Council

The Action Plan goes back to the broader intentions of the 1992 Biodiversity Convention - to halt the loss of biodiversity. The intention is to promote a new, more flexible approach to nature conservation and areas managed for wildlife in Leicestershire and Rutland which is relevant and applicable to all parts of the local landscape.

2.3 Reading the guidance and codes

The goal of these guidance and codes is to promote the best possible delivery of residential and public realm development, which will support sustainable and contextually appropriate designs.

If there is variation from the compliance requirements outlined in this document, it must be supported by factual evidence. Under such circumstances, developers and their design teams must show that the plan will produce a final proposal of the greatest quality that is consistent with the main goals of this document and, therefore, the goals of the Husbands Bosworth Neighbourhood Plan.

Submissions that do not adhere to this guidance, and that do not furnish strong rationales, supporting documentation and comprehensive examination of available solutions, may be refused.

The guidance and codes provided in the next section are arranged into area specific and area wide guidance and codes and are supported by relevant analysis. These include detailed mapping, descriptions,

diagrams and images taken from the NA and appropriate precedents.

Accompanying the guidances and codes are references to existing policies from Supplementary Planning Documents (SPDs) relevant to the local context. These support a nesting approach to link to relevant policies to ensure that there are no gaps in information and that all guidance and codes are bespoke to the context of Husbands Bosworth. Nested policies will appear throughout the next sections as shown below:

Please note:

Both design codes and guidelines are contained within this document, highlighted within boxes as shown here. The difference between codes and guidelines is summarised below:

- Codes: Design codes are mandatory requirements for design issues and are expressed with the word **MUST**.
- Guidelines: Design guidelines set out aspirations for design that is expected to be delivered and are expressed with one of two words:
 - **SHOULD** reflects design principles that are strongly encouraged.
 - **COULD** reflects design principles that are suggestions.

The background image shows a street scene in a town. On the left, a brick building has a street sign that reads 'HIGH STREET'. In the center, a large, historic stone church with a tall, pointed spire is visible. Scaffolding is present on the side of the church. In the foreground, there is a wooden planter box and a road with a few cars, including a red car and a silver van. The sky is overcast.

Area Types Design
Guidance and Codes

03

3. Area types design guidance and codes

This chapter presents a place analysis of the Husbands Bosworth Neighbourhood Area, setting out six area types. This helps to inform a series of design guidelines and codes that are both sensitive and responsive to local context, landscape setting, and character.

3.1 Understanding place

Achieving quality development starts with a comprehensive understanding of place. Places have a clear and strong identity and character. They are a combination of their physical form, their activities and their meaning to people. The adjacent diagram shows how these factors come together to create a successful place.

All new development must be informed by its own comprehensive analysis of place to understand a proposals broader context and establish aspirations and place-specific responses to the location, siting and design of new development.

- 1 Physical conditions of existing built development including layout, form, scale, appearance, landscape character, waterways and flood risk.
- 2 Use, vitality and diversity, including community facilities and local services.
- 3 How a place is perceived, including local heritage, views inwards and outwards and social histories.

For the purposes of this document, a series of 'area types' have been identified for Husbands Bosworth, helping to illustrate the variation in character across the NA.

New developments should take note of the area type in which it is located, as each design proposal will require a tailored response based on its specific location.

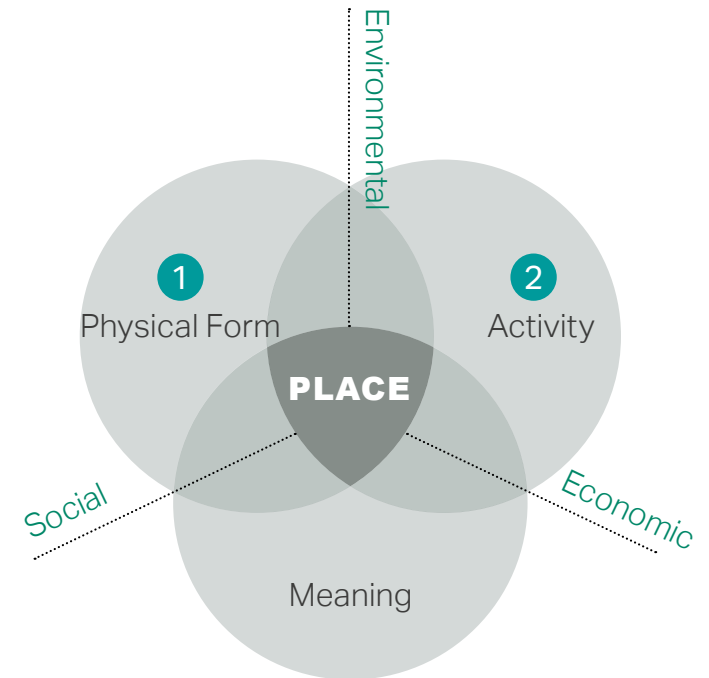
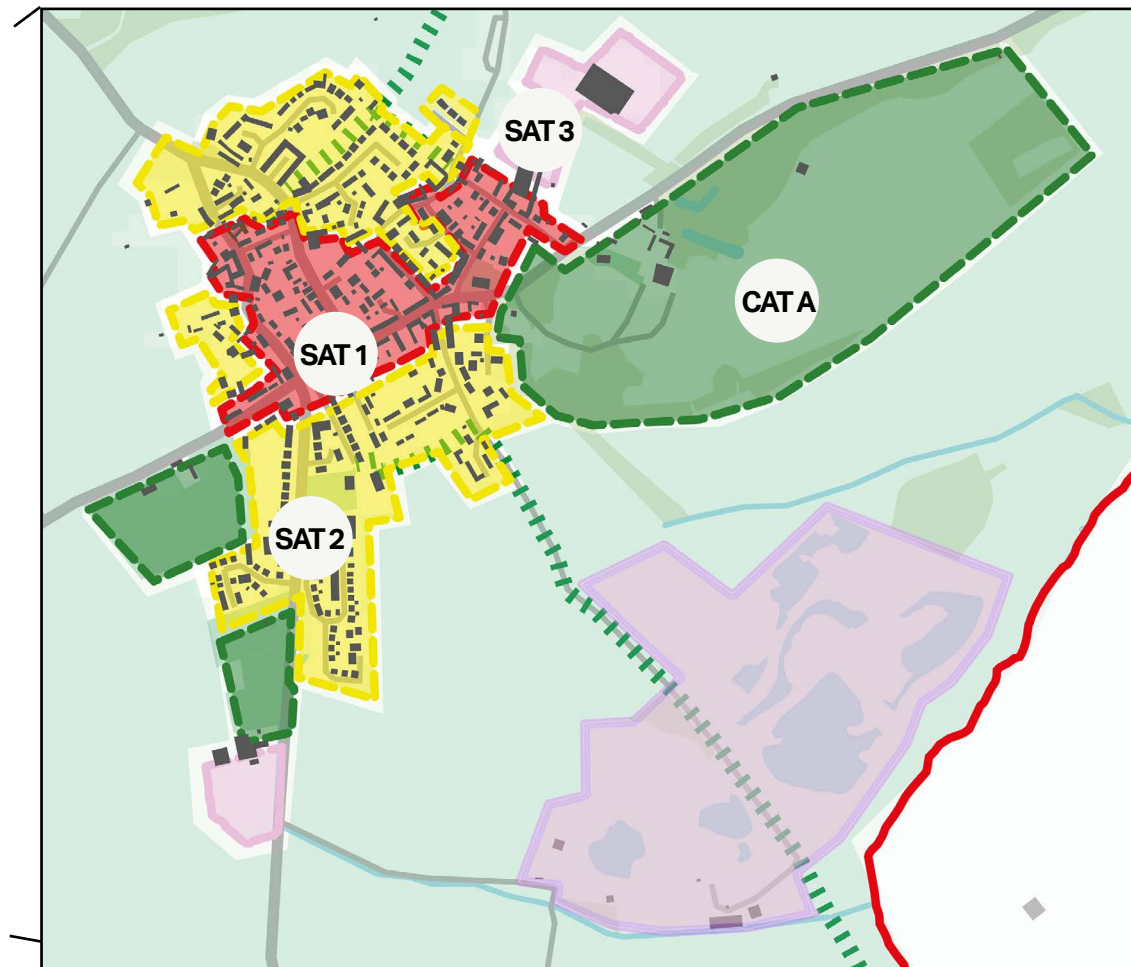
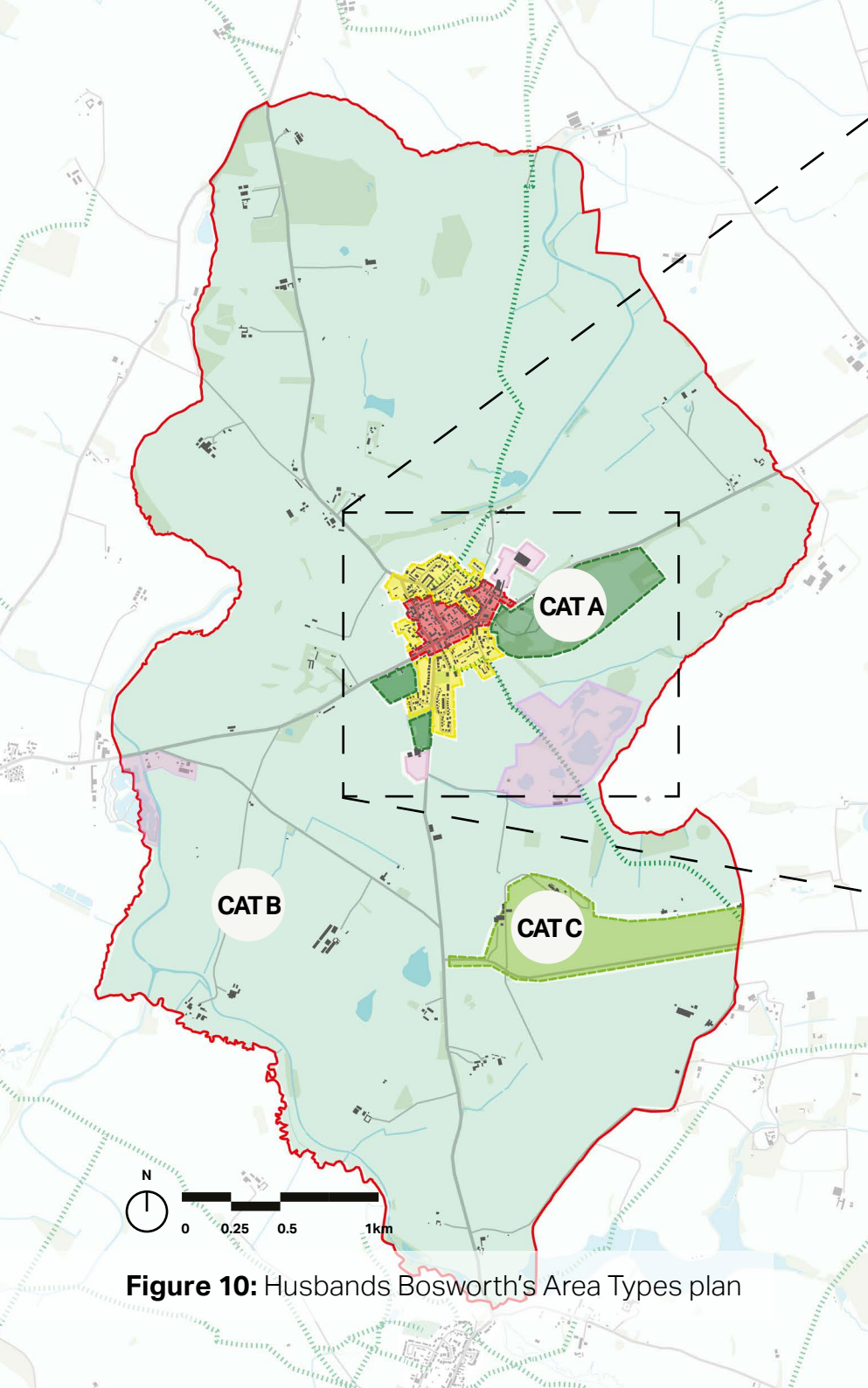


Figure 09: A diagram showing how different factors come together to form a sense of place.



KEY

- | | |
|--------------------------|-------------|
| NA boundary | Greenspace |
| SAT 1 Historical village | Woodland |
| SAT 2 Village extension | Waterbodies |
| SAT 3 Employment areas | Roads |
| CAT A Open spaces | PRoW |
| CAT B Open countryside | |
| CAT C The airfield | |

Figure 10: Husbands Bosworth's Area Types plan

Settlement Area Types (SATs)

SAT 1:

Historical Village

The Historical Village represents the early development of the village prior to the middle of the 20th century. All traditional features create the central area of Husbands and are an essential part of displaying the history of the village as well as its conventional appearance.

SAT 2:

Village Extension

The residential areas to the south and north of the historical village were built as planned communities after the Second World War. These areas have modern housing, designed following architectural trends from the mid-20th century to recent years. They form a distinct type of development and play a role in shaping the local area.

SAT 3:

Employment Areas

The areas to the east and south of Husbands are mainly linked to farming and small-scale production, contributing to the local economy. The quarry site is presently a major employer within the NP area and areas of the site have been mooted for a limited amount of continued commercial use after the present quarrying activity ceases.

The quarry site area is not covered by the Design Code in this report.

Countryside Area Types (CATs)

CAT A: Open Spaces

The area to the east of Husbands has green fields around the church, providing space for recreation and pleasant views. To the west, there are community playing fields and allotments, offering green spaces for gardening. These areas help shape the local character.

CAT B: Open Countryside

This area is in the countryside, with scenic landscapes mainly used for farming or left in their natural state. The population is generally low, with small, scattered groups of buildings.

CAT C: The Airfield

The Gliding Centre at Husbands Bosworth Airfield is situated south of the village.

This area is not included in the Design Code of this report.

3.2 SAT 1: Historical Village

Introduction

The SAT 1 Historical Village area type represents the heart of Husbands Bosworth, defined by its rich architectural heritage, traditional street patterns, and strong sense of place. It is characterised by a mix of historic brick and stone buildings, including Listed Buildings and structures within the Conservation Area, this area retains a cohesive village identity.

Future development must respect and enhance the historic fabric through sensitive design, appropriate materials, and scale that complements the existing built environment.

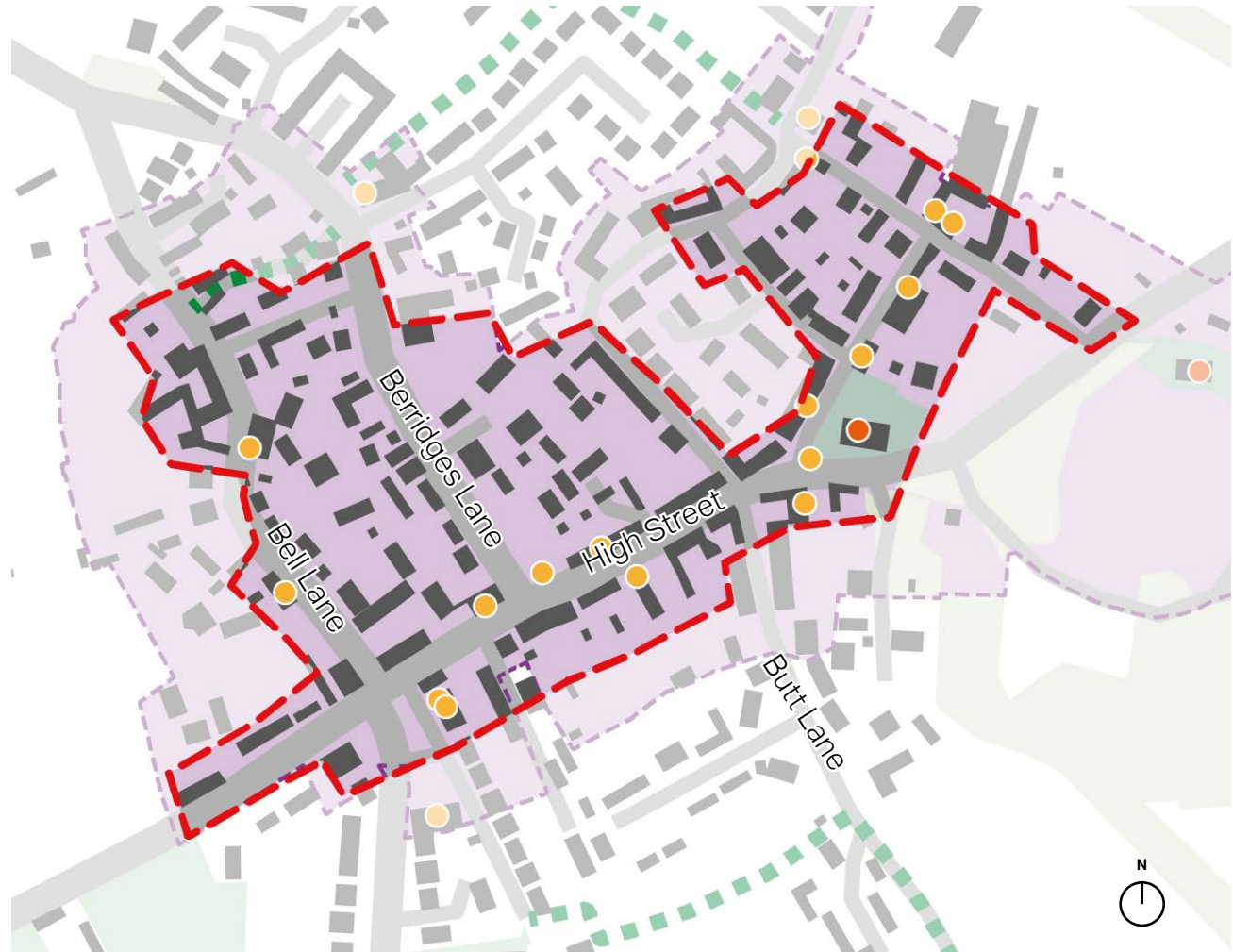


Figure 11: SAT1 Historical village area type plan

SAT 1: Historical Village qualities and features

Connection	Movement networks	The street layout follows a traditional organic pattern, prioritising pedestrian movement with narrow roads, historic lanes, and well-connected pathways. Key streets within the area type include the High Street (A4304), Berridges Lane (A5199), Bell Lane (A5199), and Church Street.
Built form	Urban form	The village core is characterised by a compact, fine-grained urban form with buildings arranged in a linear or clustered pattern, reinforcing a strong sense of enclosure.
	Building lines, boundaries and setbacks	Typically sit close to the street with minimal or no setbacks, creating a strong sense of enclosure and continuity. Boundaries are defined by traditional brick walls, iron railings, or hedgerows, reinforcing the historic streetscape.
	Building, size, scale and type	Predominantly two stories with pitched roofs, using traditional materials like red brick, ironstone, and limestone. Narrow-fronted plots, sash or casement windows, and decorative brick or stone detailing define the area's historic character, with Georgian and Victorian influences adding variety.
Nature	Green and blue infrastructure	Mature trees, hedgerows, and green verges that soften the built environment and enhance its rural character. The Grand Union Canal, River Welland, and River Avon provide key blue infrastructure, supporting biodiversity and reinforcing the village's historic connection to water.
	Open spaces and biodiversity	Small village greens, private gardens, and green verges that contribute to local biodiversity and community well-being. These spaces provide habitat for wildlife while maintaining the village's rural charm and historic setting.
Activity	Uses and community	Primarily residential with some community facilities and small-scale businesses, reinforcing a vibrant and socially cohesive village atmosphere.

Table 02: Summary of the distinctive qualities and features that supplement the character of this Area Type.

3.2.1 Key Considerations and Features

Conservation Area

Husbands Bosworth Conservation Area covers much of the village. The village has a linear High Street, with winding lanes and diverse architecture, including 15th century timber framed buildings, 18th century brickwork and Regency cottages. These distinctive character include:

- **Rich Architectural Heritage:** A mix of historic buildings with vernacular styles, Georgian and Victorian influences, and high-quality craftsmanship.
- **Traditional Plot Pattern:** Narrow-fronted buildings with minimal setbacks, maintaining a strong sense of enclosure.
- **Historic Materials and Detailing:** Use of locally sourced stone, brick, timber, and slate roofing, along with characteristic features such as sash windows, decorative brickwork, and iron railings.
- **Mature Landscaping:** Established trees, hedgerows, and green verges contributing to the area's historic and rural charm.
- **Boundary Treatments:** Retention of historic boundary features such as brick walls, stone walls, and hedgerows is essential to maintaining the village's historic enclosure.
- **Cultural and Historical Landmarks:** Presence of Listed Buildings, the Grand Union Canal, and the Scheduled Monument, all of which contribute to the area's distinct identity.
- **Public Realm and Streetscape:** Street furniture, signage, and surfacing should be sympathetic to the historic setting, avoiding overly modern or intrusive elements.



Figure 12: View along the High Street (A4304) looking toward All Saints' Church.

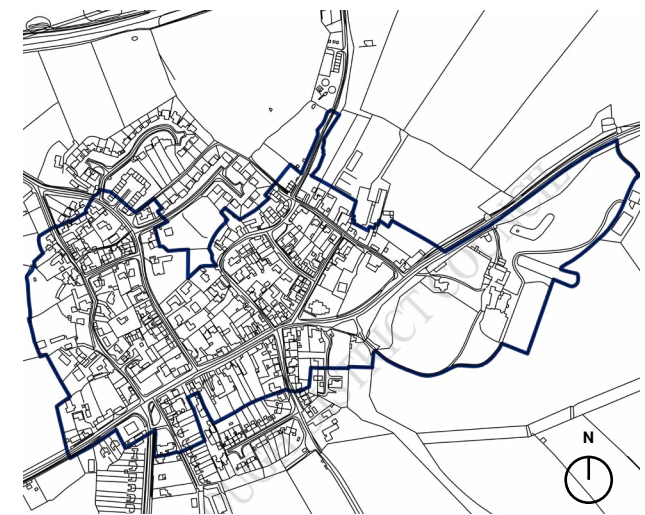


Figure 13: Conservation Area plan, source: file:///C:/Users/DengW1/Downloads/Husbands_Bosworth_Conservation_Area_Map-1.pdf

Listed Building

- **High-Quality Traditional Materials**
Use of locally sourced ironstone, limestone, red brick, and slate roofing, ensuring durability and historic authenticity.
- **Architectural Detailing**
Presence of sash and casement windows, decorative brickwork, timber framing, and stone lintels, reflecting skilled craftsmanship.
- **Historic Character and Significance**
Buildings that retain original features, such as thatched roofs, chimneys, and ornate doorways, contributing to the village's heritage.
- **Well-Preserved Setting**
Many Listed Buildings are complemented by historic boundary treatments (brick walls, iron railings, hedgerows) and green spaces, reinforcing their traditional context.

Design Code 1: Conservation Area and Listed Buildings

- All new development, extensions, and alterations must preserve and enhance the historic character of the Conservation Area, respecting the existing architectural style, scale, and materials;
- New buildings must respect the established rooflines, proportions, and plot layouts, ensuring they integrate seamlessly with the historic streetscape;
- Historic boundary features, such as brick or stone walls, iron railings, and hedgerows, should be retained and restored. New boundary treatments must match traditional styles; and
- Any alterations to Listed Buildings must retain original architectural features, including windows, doors, roof structures, and decorative detailing.



Figure 14: Sight-lines to historic buildings should be protected and enhanced.

Unlisted Historical Features

- Traditional Building Forms**
 Many unlisted historical buildings retain characteristic vernacular styles, such as simple, symmetrical facades with pitched roofs and modest detailing, reflecting the village's historic architecture.
- Local Building Materials**
 Use of locally sourced materials like red brick, stone, and clay tiles, contributing to the distinctive character and authenticity of the village.
- Architectural Detailing**
 Features such as timber sash windows, decorative brickwork, and stone lintels, which, while not formally listed, offer valuable historical interest and contribute to the area's aesthetic appeal.
- Historic Boundary Treatments**
 Unlisted buildings often maintain traditional boundary features such as stone or brick walls, wrought-iron railings, and mature hedgerows, which define the streetscape and contribute to the overall historic atmosphere.
- Cultural or Functional Significance**
 Some unlisted buildings may have historical significance in terms of their past use, such as former village halls, schools, or agricultural buildings, contributing to the narrative of the village's development.
- Well-Preserved Setting**
 Many unlisted features are located within or adjacent to green spaces, village greens, or watercourses, contributing to a sense of place and connecting the built environment to the surrounding landscape.



Figure 15: White timber framed structure buildings



Figure 16: Key iconic buildings at the end of streets act as landmarks and could assist in wayfinding.

Design Code 2: Other Historical Assets

- Any new development or alterations should respect the historical significance of other assets, including unlisted buildings, structures, and features, ensuring that their historical and cultural value is preserved;
- The setting of historical assets should be preserved, including key views, open spaces, or surrounding landscape features. New development should not obstruct or negatively impact views, sightlines, or access to these assets;
- New structures, signage, or other interventions must minimize their visual impact on historical assets, ensuring that they are discrete and do not disrupt the asset's character or the historical ambiance of the surrounding area.



Figure 17: Varied but cohesive roofline in the historical village area type



Figure 18: Western gateway into the Husbands Bosworth historical village.



Figure 19: New development should not obstruct or negatively impact views, sightlines, or access to historic assets.

3.3 SAT 2: Village Extension

Introduction

The Village Extension area (SAT 2) is made up of three key zones. To the north of the main village settlement, areas around Highcroft, Hunters Close, and north of Bell Lane and Berridges Lane offer a mix of residential areas and open spaces. To the south, areas around Welford Road, Butt Lane, Cherry Tree Close, Lammas Close, Marsh Drive, and Kemp Drive include a mix of established residential zones and new build developments. The third zone lies to the west of Bell Lane, an area that balances residential developments with the surrounding rural landscape.

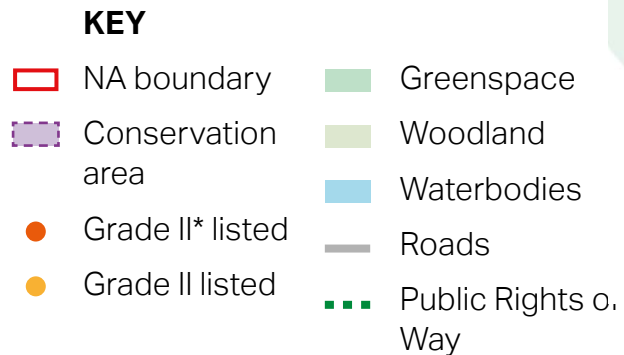


Figure 20: Area type plan



Figure 21: Developments facing open greenspace



Figure 22: Mix of architectural materials providing a variety in the streetscape.

SAT 2: Village extension		
Connection	Movement networks	The area benefits from established road networks, with key routes such as Welford Road and Bell Lane providing access, while potential for improved pedestrian and cycling connectivity can enhance integration with the village centre.
Built form	Urban form	The urban form is predominantly low-density residential, with a mixture of cul-de-sacs and linear street layouts that gradually transition into the surrounding countryside, reflecting the village's expansion.
	Building lines, boundaries and setbacks	Buildings in the extension areas typically follow the prevailing pattern of shallow setbacks from the road with defined boundary treatments, such as hedgerows and low walls, providing a transition from the built environment to the rural edge.
	Building, size, scale and type	Development in this area consists mainly of detached and semi-detached homes, often two stories in height, with varied architectural styles that should align with the existing village character.
Nature	Green and blue infrastructure	The presence of green fields, hedgerows, and watercourses such as nearby rivers or streams plays a key role in maintaining the rural character and supporting biodiversity within the area.
	Open spaces and biodiversity	Open spaces, including local parks, green verges, and natural landscapes, provide valuable recreational areas and support local wildlife habitats, promoting biodiversity throughout the extension.
Activity	Uses and community	The extension areas are primarily residential, with small-scale local services, but should encourage community integration through well-designed public spaces and amenities that promote social interaction.

Table 03: Summary of the distinctive qualities and features that supplement the character of this Area Type.

3.3.1 Key Considerations and Features

Lack of local Identity

The Village Extension areas currently suffer from a lack of local identity, with many of the developments appearing generic and lacking a clear architectural style or strong connection to the historical character of the core village. The area is dominated by modern, mass-produced housing types that do not reflect the traditional materials, scale, or forms of the older parts of Husbands Bosworth.

The designs of many buildings are not deeply rooted in the local vernacular, and the streetscapes feel disconnected from the village's rich heritage, creating a sense of homogeneity.

Additionally, the boundaries and setbacks often do not create the intimate, village-scale streets found in the historical core, contributing to a feeling of disjointedness between these newer areas and the established village character. As a result, there is a noticeable lack of continuity and coherence in the visual and cultural identity of the area.



Figure 23: Designs of many buildings in the Village Extension areas are not deeply rooted in the local vernacular, and the streetscapes feel disconnected from the village's identity.



Figure 24: Boundaries and setbacks often do not create the intimate, village-scale streets found in the historical core.

Design Code 3: Enhancing Local Identity

- In the north of the settlement, particularly around Highcroft, Hunters Close, and Bell Lane, new developments should incorporate local stone and red brick to align with the historic materials found in the village's core. For the south of the settlement (near Welford Road and Butt Lane), consider incorporating traditional slate roofing and timber detailing to echo the materiality found in the surrounding older properties;
- New development should adopt a low-rise, two-story scale, respecting the human-scale of existing houses. For example, around Lammas Close and Marsh Drive, where residential units tend to be detached, new buildings should reflect the rhythm and proportions of existing homes by keeping narrow-fronted facades and pitched rooflines. Avoid large, suburban-style developments to maintain the intimacy and village charm;
- Buildings in areas north of Bell Lane (such as around Berridges Lane) should maintain the traditional shallow setbacks found in the village's older streets, reinforcing a continuous streetscape;
- In areas to the south of the settlement, like Kemp Drive and Cherry Tree Close, ensure new developments respect the existing building lines and preserve the low-density, spacious feel of the area, with appropriately spaced setbacks to keep the rural village atmosphere; and
- Traditional boundary walls and hedgerows should be used throughout the area, particularly around the edge of Welford Road and Kemp Drive, where the development meets open fields. Use stone walls or low, clipped hedges to create a strong edge between private and public spaces, enhancing the village character. Ensure front gardens are planted with native species to reflect the rural nature of the village.

Countryside and open space frontage

The Village Extension areas are characterised by their close proximity to open countryside and rural landscapes, creating a distinct connection between the built environment and surrounding agricultural land.

The frontages along areas such as Welford Road and Bell Lane often have direct views onto open fields, hedgerows, and tree-lined boundaries, which significantly contribute to the rural character of the area. This connection to the countryside is evident in the way that many properties in these areas face and interact with the open space, with generous front gardens and boundary treatments such as low stone walls or hedgerows, creating a seamless transition from the built environment to the natural landscape.

However, in some areas, more recent developments have been built closer to the road with less thoughtful integration into the rural surroundings, resulting in an



Figure 25: Detached houses set back from Broad Lane, with frontages that transition smoothly into the surrounding open countryside.

occasional disjointed edge between the village and the open countryside. This lack of continuity in the relationship between the built and natural environments can detract from the visual harmony of the area. The

open space in these frontages provides an important opportunity to enhance green infrastructure, biodiversity, and community access, further reinforcing the rural village character.

Design Code 4: Natural Environment Frontage:

- Developments along the edges of Welford Road, Bell Lane, and other areas bordering open countryside should ensure that key rural vistas are preserved. Buildings should be set back from the boundary to maintain clear, uninterrupted views of the surrounding fields, hedgerows, and wooded areas, maintaining the village's connection to the landscape;
- Hedgerows, mature trees, and watercourses that form the natural boundaries of the village should be retained and enhanced. New developments should avoid removal or disruption of these features and integrate them into landscaping schemes, maintaining the natural character of the area;
- Buildings along natural environment frontages should be designed to blend with the surrounding landscape. Use of natural materials such as local stone, timber, and brick will help developments merge with the rural character. Structures should have a low-rise, simple form, with materials that reflect the rural setting and complement existing properties;
- A buffer zone of native trees, shrubs, and wildflower meadows should be incorporated between new developments and the open countryside. This green infrastructure will help to maintain the ecological balance, support biodiversity, and soften the transition between the built environment and the natural landscape;
- Any development on frontages adjacent to the natural environment should incorporate Sustainable Drainage Systems (SuDS), such as swales or rain gardens, that complement the rural landscape. These features not only manage water runoff but also enhance the aesthetic quality of the area by incorporating native planting schemes that reflect the natural habitat;
- Where possible, new developments should provide pedestrian pathways or green corridors that link the village with the open countryside, ensuring ecological connectivity. These corridors will allow for wildlife movement and provide residents with easy access to the surrounding countryside, reinforcing the village's rural identity; and
- Boundaries to the open countryside should use low, traditional fencing (such as post-and-rail) or natural hedgerows rather than high, solid walls or fences that would disrupt the natural flow between the built environment and the landscape. This will help preserve the open, rural character of the area and allow visual continuity with the countryside.

3.4 SAT 3: Employment Areas

Introduction

The Employment Areas (SAT 3) include industrial units situated off Broad Lane and Welford Road, the quarry site, and several commercial premises near the marina areas. These zones are primarily characterised by commercial and industrial buildings, which serve as key locations for local employment. The areas are defined by functional, utilitarian structures with spaces for parking and loading, contributing to the industrial character of the spaces.

The Neighbourhood Plan supports development around the commercial and employment areas at North Kilworth Wharf, North Kilworth Marina (partly within the Neighbourhood Plan area), and Welford Wharf (entirely within the area). Expanding the existing commercial site, along with the creation of new sites near the wider airfield recreational and commercial complex, would also be supported as potential employment opportunities.

While these areas are essential for supporting the village's economy, they also represent a distinct contrast to the surrounding residential and rural environments.

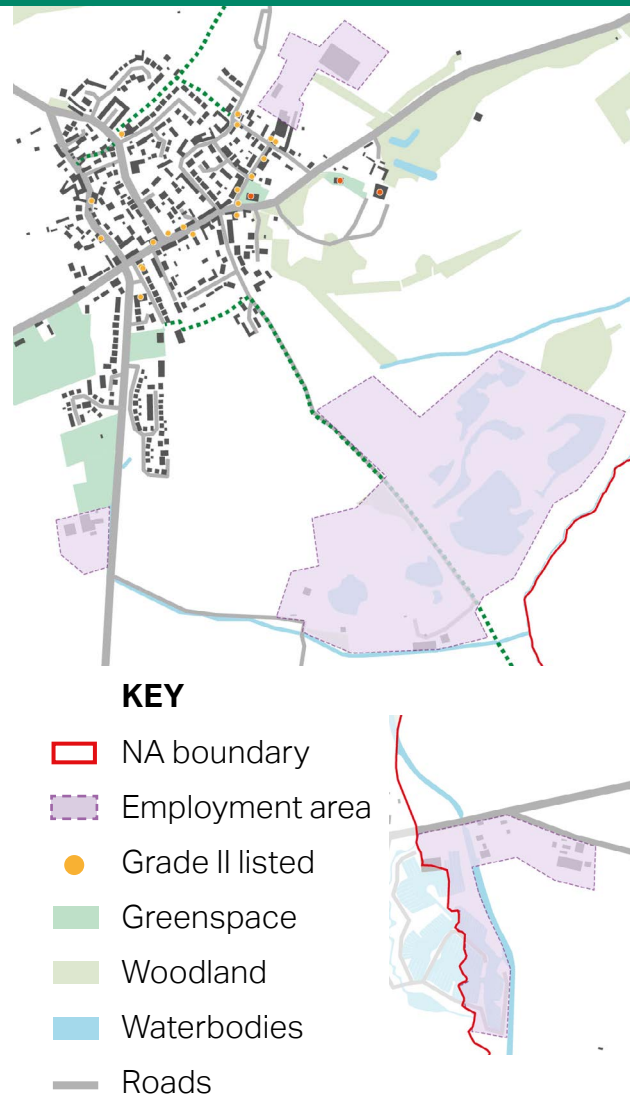


Figure 26: Area type plan



Figure 27: Example of a converted farm building within the NA as bed and breakfast.



Figure 28: Timber cladding help soften the industrial character

Employment visual impact

The visual impact of the Employment Areas (SAT 3), particularly around Broad Lane and Welford Road, is significant due to the utilitarian nature of the industrial buildings. These industrial units, with stark façades, and functional designs, stand in contrast to the more residential and rural areas of the village. The use of timber cladding on some of the structures help soften the industrial character and provide a more cohesive integration with the local architectural vernacular. The use of neutral tones and natural finishes minimises the visual impact on surrounding areas and avoid harsh, reflective materials.

The industrial sites are located near open fields and residential areas, which creates an abrupt transition between the built environment and the surrounding natural landscape. The visual impact is reduced by green buffers and landscaping, making the areas appear stark and disconnected from the village's overall character.

Design Code 5: Building Architecture and Appearance

- **Industrial buildings in SAT3 Employment Areas should adopt a more considered and cohesive architectural style that complements the surrounding context;**
- **Large structures should be broken up into modular sections with pitched roofs, recessed entrances, and varying wall treatments to reduce their visual bulk;**
- **Any new development should avoid overly stark, box-like forms, and instead incorporate architectural features that help create a more visually appealing streetscape;**
- **The use of high-quality, durable materials such as brick, timber cladding, or natural stone for building facades should be used to help soften the industrial character; Use of visually less-impactful materials for all industrial and agricultural buildings, such as coloured cladding and low building profiles and natural screening should be encouraged.**
- **Pitched roofs with traditional materials like metal sheeting or slate should be considered where appropriate, rather than large, flat industrial roofs. Integrating green roofs or solar panels as part of the building design can also enhance sustainability and soften the visual impact;**
- **New industrial units should respect and blend with the natural landscape by incorporating landscape buffers of native planting, trees, and hedgerows to reduce the visual impact of large buildings. These buffers should be designed to be continuous and should ideally extend around the full perimeter of the development to provide visual screening from surrounding roads and residential areas.**

3.5 CAT A: Open Spaces

Introduction

The Open Spaces (CAT A) areas encompass several key green spaces within Husbands Bosworth, including the allotments along Welford Road, the playing fields south of Kilworth Road, and the greenspaces and woodlands around Saint Mary's Catholic Church.

These areas serve as vital recreational, social, and ecological assets for the village, providing opportunities for outdoor activities, community engagement, and connection to nature.



Figure 29: Area type plan

3.5.1 Open spaces in village fringe

The Open Spaces (CAT A) play a crucial role in maintaining the transition between the built environment and the surrounding rural landscape. These open spaces help soften the boundary between the settlement edge and the open countryside, creating a more harmonious relationship between the village and its natural surroundings.

The allotments along Welford Road mark a strong rural edge to the village, offering a productive use of land that retains the agricultural character of the area while contributing to a sense of community and connection to the land. The playing fields south of Kilworth Road provide an expansive, open area that is integral to the village's recreational and social life, yet also serves as a buffer zone that limits the urban sprawl towards the countryside. Meanwhile, the woodlands and greenspaces around Saint Mary's Catholic Church create a natural and tranquil setting at the village's edge, reinforcing the rural fringe character while providing ecological value and an area for quiet reflection. The open green spaces surrounding St Mary's Church and the adjoining parkland are privately owned and not accessible to the public.



Figure 30: Husbands Bosworth playing field and sports pavilion.



Figure 31: Husbands Bosworth allotments.

Design Code 6: Open Spaces

- The existing open spaces must be protected from development and should remain accessible to the public and continue to serve their recreational, ecological, and social functions. Any new development must respect these areas and avoid encroaching on them;
- Where new developments adjoin open spaces, they should incorporate soft landscaping buffers;
- New open space areas should incorporate native planting schemes that support local wildlife and improve biodiversity; and
- Open spaces should be connected through pedestrian-friendly paths and green corridors that provide continuous access across the village.

3.6 CAT B: Open Countryside

The CAT B area is primarily defined by open fields, farmland, and scattered small settlements or farmsteads that contribute to the village's agricultural heritage and rural character. The landscape is characterised by gently rolling hills, hedgerows, woodlands, and a network of small lanes and public footpaths, creating a peaceful, natural environment that supports both agriculture and biodiversity. It also includes the Grand Union Canal conservation area, and the scheduled monument (Ref. 1019477). These areas are vital for maintaining the rural setting of the village and providing a buffer between the village core and the surrounding countryside.

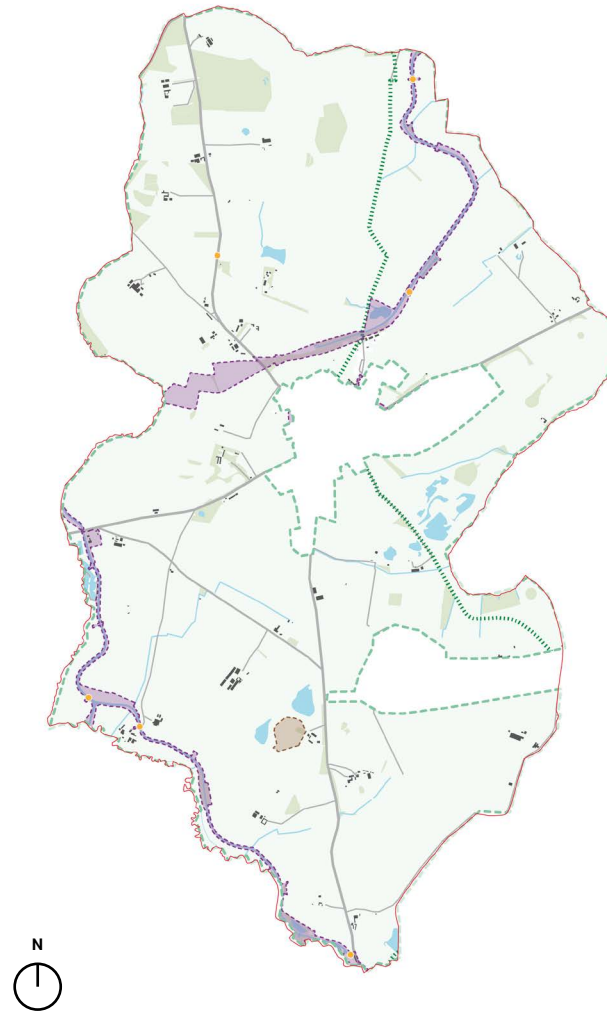
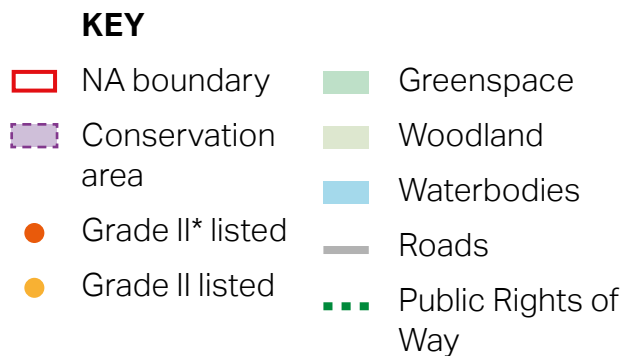


Figure 32: Area type plan



Figure 33: Routes with distance views and mature tree-lined lanes.



Figure 34: North Kilworth Marina, along the Grand Union Canal.



Figure 35: The landscape is characterised by gently rolling hills and woodlands.



Figure 36: Welford Marina, along the Grand Union Canal.

Design Code 7: Open Countryside

- Development within CAT B should be minimised to preserve the integrity of agricultural land, and avoid encroaching onto prime agricultural soils and should prioritise the re-use of existing buildings where possible;
- Any development should complement the rural landscape and contribute to the sustainability of the area, ensuring that agricultural activities remain viable;
- Development proposals should respect and enhance the natural landscape, maintaining the characteristic features of the countryside such as hedgerows, woodland edges, and open fields;
- New buildings should be designed to blend with the existing topography, using natural materials and subtle colors that reduce visual impact. Landscaping should incorporate native planting to encourage local wildlife and maintain ecological connectivity;
- Any new development in the rural areas should be in keeping with the scale and character of the surrounding environment. Buildings should be low-rise and modestly sized, avoiding over development that disrupts the rural vista; and
- The design should reflect traditional farmhouse or agricultural structures, with the use of local materials like stone, timber, and slate to ensure visual harmony with the countryside.



**Area wide guidance
and codes**

04

4. Area wide guidance and codes

This section supports decision-makers and designers when producing or reviewing planning applications within the entire NA. This applies to development in allocated sites, infill development and windfall development that may come forward, with a focus on proposed residential development.

It is acknowledged that there is not always agreement on aesthetic issues and opinions may vary. The following guidance and codes therefore allows for flexibility and design innovation, whilst ensuring that any new development is appropriate and complementary to the surrounding context.

To enable a clear design process, new development proposals must use the this section to ensure that development proposals enhance the setting and sustainability of Husbands Bosworth, while not detracting from its context, local character and sense of place.

4.1 Guidance and code themes

The guidelines outlined in this chapter aim to apply to the whole of the NA. These have been derived from current urban design best practice and are considered essential for a successful development.

These guidelines advocate the use of context for design cues. In this sense it is expected that a design proposal will make reference to different design elements such as layout of buildings, building envelope, materials, building forms, colours, roofs and fenestrations.

These guidance and codes were decided based on meeting with the Parish Council as well as an in-depth desktop study of the NA. Each of these themes will be accompanied by relevant supported analysis, photographs and diagrams.

Codes and guidance are arranged under the following pages.

4.2 Street Design

The following pages set out guidelines to consider when developing both existing and new developments within Husbands Bosworth. They apply to all areas of the village and are not specific to one Area Type.

Design Code 8: General Street

The general street is the prevalent street across from new development. The desired design features for this street type are:

- Where applicable and practical, speed limits should be 20mph with low traffic volumes and low speed and include design elements for traffic calming e.g. minimising the corner kerb radius, horizontal deflection and the like;
- Carriageways should accommodate two-way traffic and parking bays should be designed for cyclists to mix safely with motor vehicles;

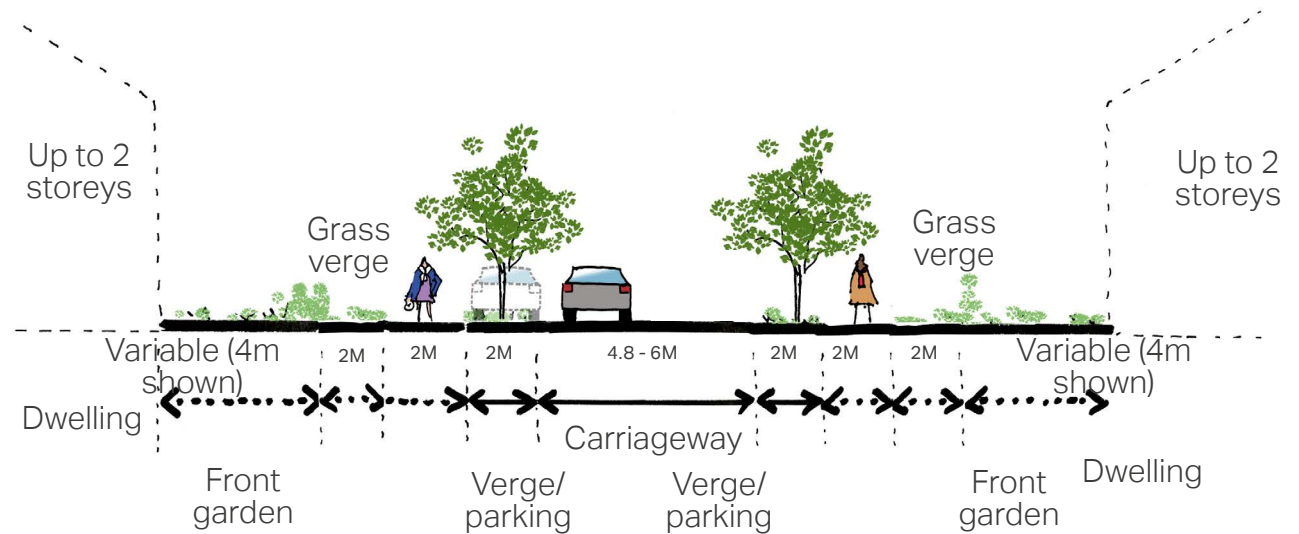


Figure 37: An indicative of potential street section arrangement that can be considered.

- Front gardens should be well-planted to create an attractive environment;
- Preferably, locate parking to the side of the property to mitigate the impact of cars on the streetscape;
- If cars are parked at the front, at least 50% of the frontage should be landscaped and with a property boundary treatment;

- As part of Husbands's defining character, street trees are important and also help to mitigate climate change. If this is not possible, front gardens should be deep enough to plant trees;
- Avoid using cul-de-sac solutions; instead use street furniture (e.g. bollards) to stop vehicle circulation whilst allowing other movement types.

4.3 Cycle routes

Cycle routes around Husbands Bosworth offer connections to nearby villages like North Kilworth, Theddingworth, and Welford. However, there is no proper segregation from traffic on the existing routes, especially on busy roads like the A4304. The narrow lanes and poor signage create confusion and discourage cycling for everyone. There is also a lack of secure cycle storage facilities near key locations such as the village centre and North Kilworth Marina. From an urban design perspective, improving cycle infrastructure by providing better wayfinding, dedicated cycle lanes, better junctions and secure parking would encourage active travel, decrease car reliance and better integrate the community with its facilities.

Based on best practice and guidance, the following design codes are suggested:

Design Code 9: Cycle Routes

- **Connectivity:** Cycle routes should integrate seamlessly with pedestrian and vehicular networks, ensuring access to key destinations within 5 km. Shared paths must be at least 3 metres wide, with clear markings to avoid conflicts;
- **Safety:** Routes should ensure visibility of 25 metres at junctions, feature lighting for night use, and maintain gradients below 1:20 ratio for accessibility. Priority crossings must enhance cyclist safety;
- **Sustainability:** Use permeable surfaces for drainage, incorporate green buffers for separation and align designs with Husbands's landscape. Native vegetation and aesthetic integration should reflect local character while supporting ecological balance.



Figure 39: Concept of a segregated cycle route.

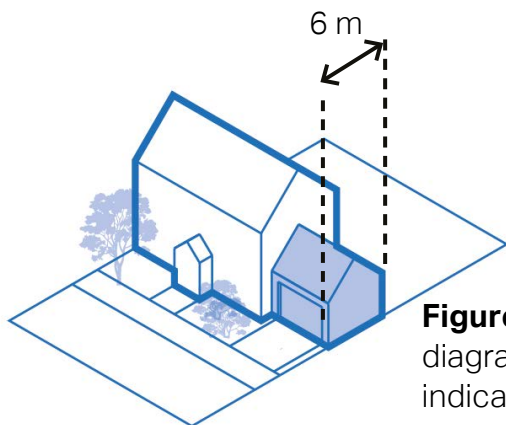


Figure 38: Typical streets show no clearly marked cycle routes within the area.

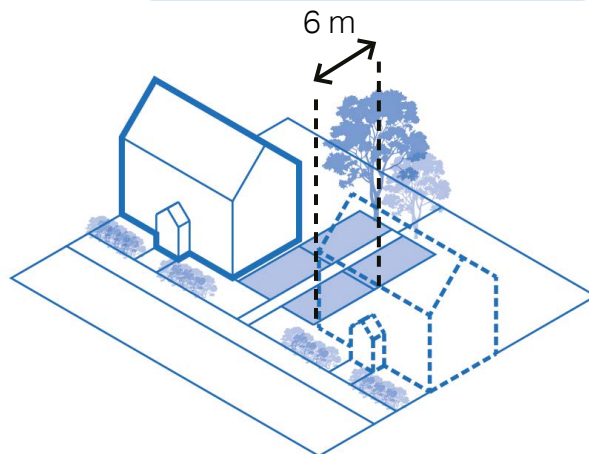
4.4 Parking arrangements

Car parking in Husbands Bosworth is a problem in terms of space and width of roads in the area, centred around High Street and Bell Lane. Many vehicles are seen to be parked on the pavements which limits the pedestrian's movement. Improved parking management, signs and spaces could help to ease congestion, increase safety on the roads and generally make the village centre more accessible.

The minimum of 3 x 6 metre should be allocated to the size of garage.



The minimum of 6 metre should be allocated to the length of side parking.



The minimum of 6 metre should be allocated to the length of on-plot parking.

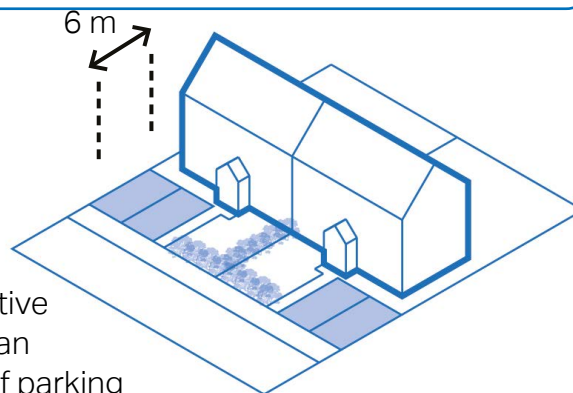


Figure 40: Illustrative diagram showing an indicative layout of parking types.

Design Code 10: Car Parking Solutions

- **Parking areas are a necessity of modern development. Parking provision should be undertaken as an exercise of placemaking;**
- **When placing parking at the front of a property, the area should be designed to minimise visual impact and to blend with the existing streetscape and materials;**
- **When needed, residential car parking can be translated into a mix of on-plot side, front and garage, complemented by courtyard parking;**
- **For family homes, cars should be placed at the side (preferably) or front of the property. For small pockets of housing, a rear courtyard is acceptable.**

Non-vehicular routes

Non-vehicular routes within the village play a key role in enhancing connectivity, accessibility, and the overall character of the area. However, many of these are separate or disjointed network, with no safe, continuous way of moving about without vehicles. There are no clear pedestrian crossings and cycle lanes missing on key links between Kilworth Road, Welford Road and Theddingworth Road, thus affecting safety and mobility of the residents.

High Street has very narrow pavements which increase the risk to pedestrians, particularly elderly and school children. The accessibility and safety is also worsened by lack of sufficient street lighting in the areas close to Bell Lane and Butt Lane, especially in the darker months. These gaps should be enhanced by improving pathways, providing safer crossings, better lighting and by creating a logical and continuous network of routes to enhance village connectivity and safety, and thus quality of life.



Figure 41: Narrow or blocked footpaths examples in the village.

Design Code 11: Non-vehicular Movement

- Pedestrian and cycle routes should be encouraged and predominantly located to pass in front of buildings rather than behind them;
- The quality and safety of walking and cycling environments within Husbands Bosworth Parish should be enhanced;
- Any proposed routes should provide a permeable and connected pattern, creating different travel options, particularly for pedestrians. Integration between transport modes should be improved; and
- Better Information systems, such as finger posts, should be provided at appropriate locations.

4.5 . Infill and Conversion

Infill development is smaller scale development (generally fewer than 10 homes) within an existing urban and developed context. This type of development commonly consists of three main types:

- Gap site development within a street frontage;
- Backland development; and
- Site redevelopment (for example, replacement of existing building/s).

The overarching aim of the Design Code is to promote context-sensitive infill housing of a high quality. This should help reinforce local character and create sustainable growth in Husbands Bosworth.

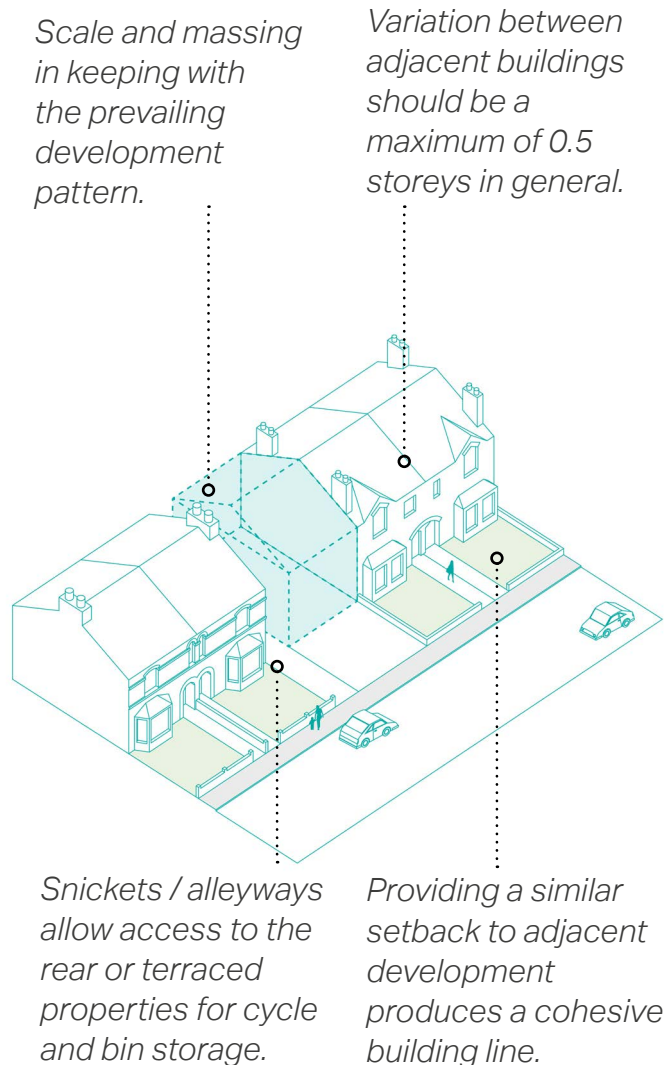


Figure 42: Contextual infill development diagram.

Design Code 12: Infill Development

- **Enclosure:** Building scale and position of on-plot development should help to define and enclose the space within the street corridor or square to an appropriate degree based on the existing street section (building to building) and level of enclosure (ratio of street width to building height);
- **Access:** Building entrances should address the street with a main access and main frontage. Corner buildings should address both streets with frontages but the main entrance could be on either subject to access requirements;
- **Building heights:** Building heights should be guided by the development's context. A varying eave-line and ridgeline creates interest, but variation between adjacent buildings should be a maximum of 0.5 storeys in general.

4.6 Conversion Development

There are a number of guidelines principles that residential extensions and conversions should follow to maintain character:

- The original building should remain the dominant element of the property regardless of the scale or number of extensions. The newly built extension should not overwhelm the building from any given viewpoint;
- Designs that wrap around the existing building and involve overly complicated roof forms should be avoided; and
- The pitch and form of the roof used on the building adds to its character and extensions should respond to this where appropriate.

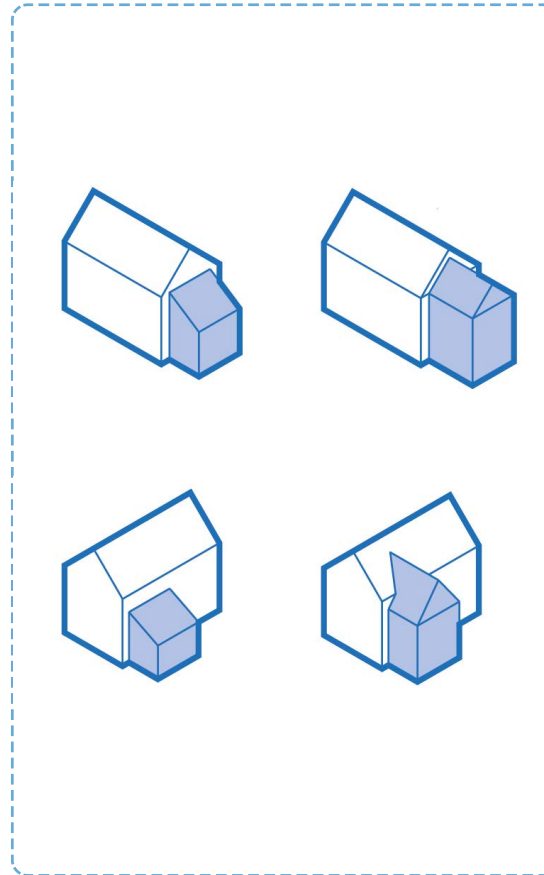


Figure 43: Good example for side extensions that respect the existing building scale, massing and building line.

Design Code 13: Extensions and Conversions

- Extensions should consider the materials, architectural features, window sizes and proportions of the existing building and respect these elements to design an extension that matches and complements the existing building;
- In the case of side extensions, the new addition should be set back from the front of the main building and retain the proportions of the original building;
- In the case of rear extensions, the new addition should not have a harmful effect on neighbouring properties in terms of overshadowing, overlooking or privacy issues;
- Many household extensions are covered by permitted development rights, and so do not need planning permission.

4.7 Flood Resilience

The village of Husbands Bosworth experiences drainage problems because of drain blockages and culvert obstructions. The River Avon area at Welford Wharf becomes flooded during times of rising river water levels. The surface water management should ensure that the design reduces the probability of flooding at the site and other properties further down the stream. Due to the floodable zone of the area, it is recommended that developments should keep surface water discharge rates to below the greenfield. Where this is not possible, this rate should be considered as the maximum.

Where possible, developments should incorporate Sustainable Urban Drainage Systems (SuDS). These systems employ natural processes and create areas for residents to engage in recreational activities that promote interaction with plants and animals.

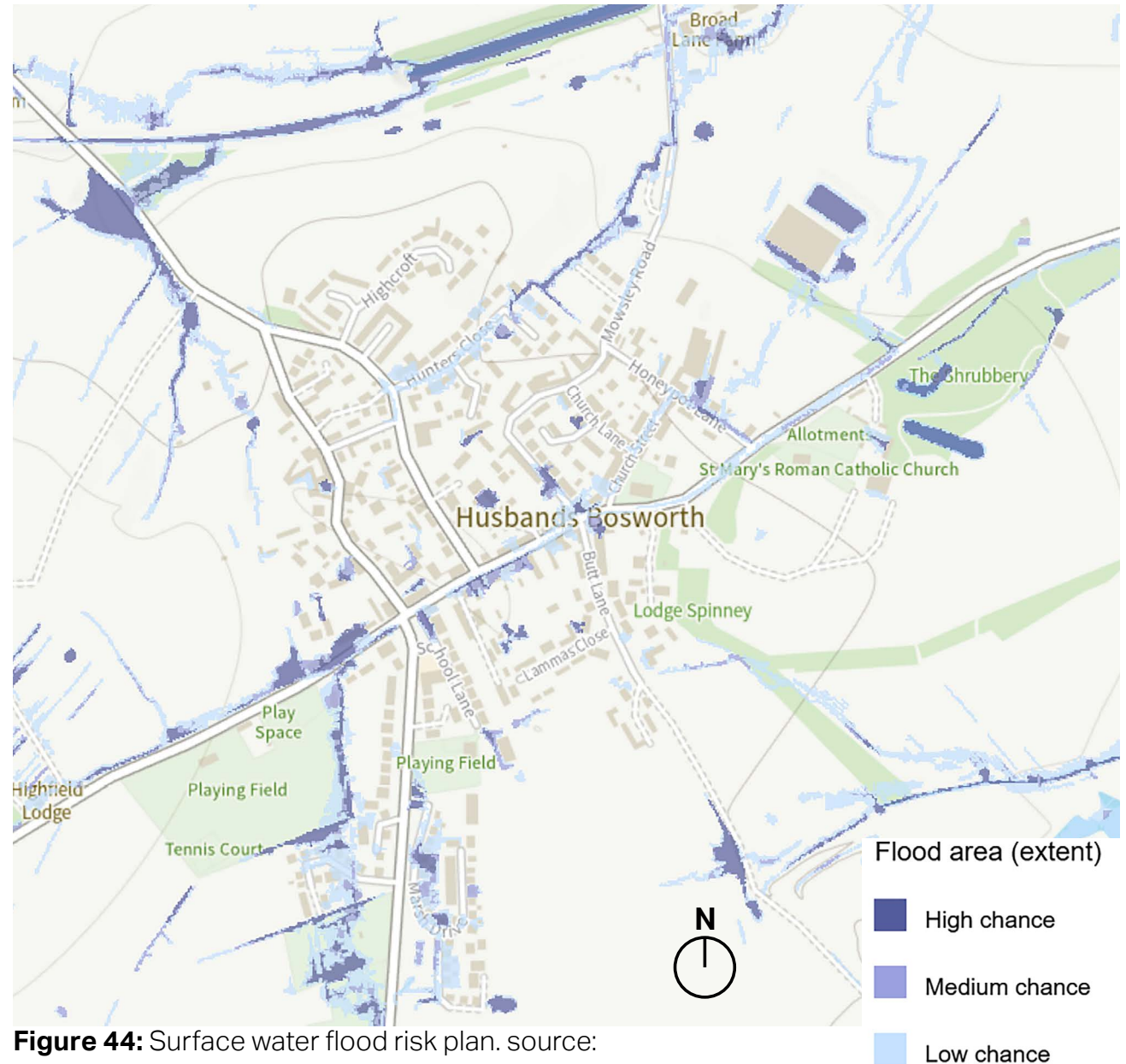


Figure 44: Surface water flood risk plan. source: <https://check-long-term-flood-risk.service.gov.uk/map?easting=461226&northing=284496&map=Surface Water#>



Figure 45: Example of well managed marina



Figure 46: Example of SuDS area

Design Code 14: Water and Drainage

- Drainage should be considered early in the development planning and design process, along with other key considerations;
- Existing watercourses, existing surface water flow routes across the site and existing drainage systems must be taken into consideration and the drainage strategy should mimic natural drainage patterns as closely as possible. Drains and culverts should be well maintained;
- Adoption of permeable paving solutions instead of tarmac is encouraged. Gardens and soft landscaping should be maximised to reduce the overall area of impermeable hard surfacing that might increase surface water volumes and increase local flood risk. Further, green space can be used for natural flood protection;
- The installation of water butts within new residential developments is encouraged to collect rainwater from roofs and reduce the overall rainwater runoff impact of any development;
- Buildings should incorporate domestic water saving measures such as aerated taps, thermostatic mixer valves, low-flow showers, dual flush WCs and water-efficient white goods.

4.8 Sustainable Design

The Local Plan encourages creating buildings and spaces with reduced environmental impact, offering people opportunities to live lower carbon lifestyles. Buildings should be suitable for future adaptation, conversion or expansion. The sustainable design and construction of new buildings and extensions to existing buildings have an essential role in reducing running costs, improving energy efficiency, and reducing greenhouse gas emissions.

Buildings must be designed to facilitate future adaption integration of sustainability from the concept stage, with consideration of passive solar heating, cooling and energy efficient strategies. The energy hierarchy should be adopted through implementation of passive environmental design principles (considering how the site layout can optimise beneficial solar gain and reduce energy demands e.g. insulation, while reducing the risk of overheating), then specification of energy efficient building services before the incorporation of renewable energy sources. All new buildings must have integrated roof mounted PV panels or tiles.

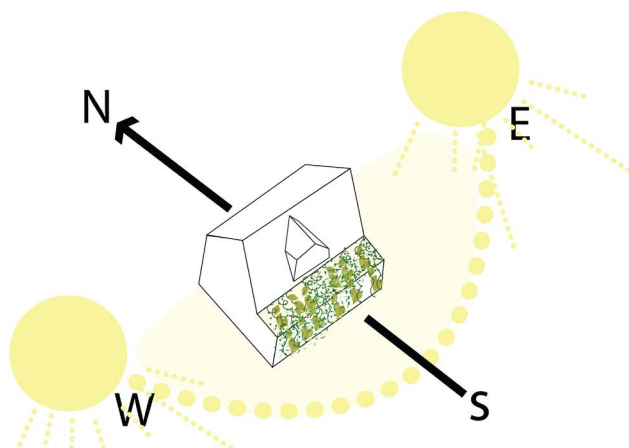


Figure 47: Precedent images - Examples of energy efficiency design

Design Code 15: Energy Saving

- The design of buildings for energy efficiency should be consistent with the Government's current zero carbon buildings policy as outlined in the NPPF and the Code for "Sustainable Homes and Energy Performance of Buildings" (MHCLG publication) or any replacement, with the aim to achieve the highest viable level of energy conservation;
- The measures taken towards a zero carbon development must be identified in a Design Statement;
- Where an energy performance certificate is required for a building the target SAP rating aimed for in the design must be shown in a Design Statement;
- Where buildings are designed to the standards in the "Code for Sustainable Homes and Energy Performance of Buildings", the anticipated star rating to be achieved under the initiative must be included in a Design Statement.

By default, new development should adopt a fabric first approach in line with the governments emerging Future Homes Standard, to attain higher standards of insulation and energy conservation.

- Reducing energy demand further by employing passive design guidelines for homes is desirable and can make some forms of development more acceptable to the community (window orientation, solar gain, solar shading, increased insulation, ventilation with heat-recovery);
- Maximise on-site renewable energy generation (solar, ground source, air source and wind driven);
- Consider building form and thermal efficiency: point-block/ terraced / semi-detached / detached all have different energy efficiency profiles. This must be balanced with local design preference and character considerations to ease acceptance for development.



Figure 50: Air source heat pump unit located to the rear / side elevation of a dwelling, so to avoid its visual impact on the dwellings frontage and wider streetscape



Figure 48: Precedent image - example of energy efficiency design

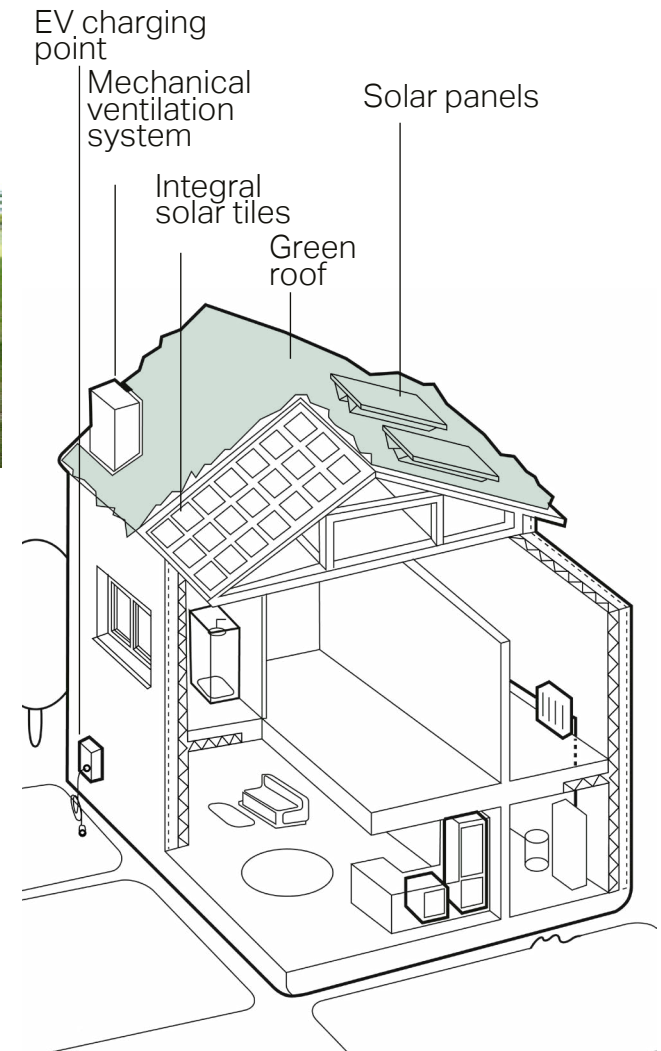


Figure 49: Cut-through diagram of an energy efficient home and its features

Design Code 16: Energy Efficiency

- Active measures may include the specification of energy efficient building services and controls to facilitate efficient operation;
- All heated pipes and ducts should be insulated, and service penetrations sealed, to improve system efficiency, prevent heat loss and minimise the risk of overheating;
- Lighting in the commercial buildings should be on zone control with presence and daylight detection where suitable. LED light fittings should be specified, both internally and externally, with automatic switch off at night where not required for safety or security.

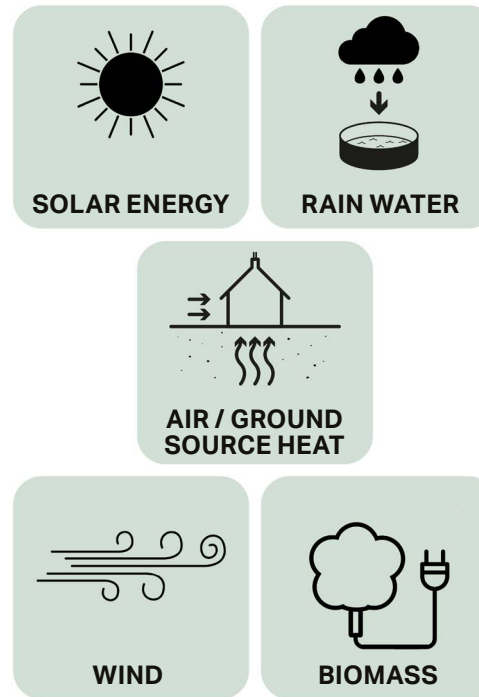


Figure 51: Key alternative natural energy sources

Design Code 17: Electric Vehicle Charging

Current transition to electric vehicle technology and ownership comes with related issues that must be addressed by new development. Two key areas are explored below - public parking areas and private parking for homes.

Design issues to address for public parking:

- Provision of adequate new charging points and spaces and retrofitting existing parking areas;
- Serving remote or isolated car parks (e.g. in woodland areas);
- Retrofitting existing public parking and upkeeping design quality of streets and spaces (attractiveness and ease of servicing/maintenance);

- Integrating charging infrastructure sensitively within streets and spaces, for example, by aligning with green infrastructure and street furniture;
- Sensitive integration of charging infrastructure within Conservation Areas.



Figure 52: Public electric vehicles charging points



Figure 53: Home electric vehicles charging point

Design issues to address for parking at the home:

- Convenient on plot parking and charging points close to homes; Potential to incorporate charging points under cover within car ports and garages;
- Still need to integrate car parking sensitively within the streetscene. For example, parking set behind the building line or front of plot spaces lined with native hedgerow planting;
- Need to consider visitor parking /charging needs;
- Existing unallocated / on-street parking areas and feasibility to provide electric charging infrastructure not linked to the home;
- Potential for providing secure, serviced communal parking areas for higher density homes.

Next Steps

05

5. Next Steps

This document provides a series of design guidelines, design codes and recommendations for the Husbands Bosworth neighbourhood area. The document is based on high-level reviews regarding the context, constraints, history, and characteristics of the village and surrounding countryside areas. The reviews suggest that any future development should be in line with the local characteristics and the existing context. The design codes provided within the document will guide future developments across the whole neighbourhood area to respect, conserve and improve the existing character, heritage, links, and villagescape features.

Husbands Bosworth Parish Council is recommended to use this document to embed design policies within the Neighbourhood Plan to achieve the objectives set out in this document. Developers should also observe this document to understand the design quality they are expected to accomplish within the neighbourhood area.

We would like to thank the Husbands Bosworth Parish Council for their efforts in assisting with the content of this report.

About AECOM

AECOM is the world's trusted infrastructure consulting firm, delivering professional services throughout the project lifecycle — from planning, design and engineering to program and construction management. On projects spanning transportation, buildings, water, new energy and the environment, our public- and private-sector clients trust us to solve their most complex challenges. Our teams are driven by a common purpose to deliver a better world through our unrivaled technical expertise and innovation, a culture of equity, diversity and inclusion, and a commitment to environmental, social and governance priorities. AECOM is a *Fortune 500* firm and its Professional Services business had revenue of \$13.2 billion in fiscal year 2020. See how we are delivering sustainable legacies for generations to come at [aecom.com](https://www.aecom.com) and [@AECOM](https://www.aecom.com).